



**Visions In Education**  
**TENANT IMPROVEMENT PROJECT**  
**Project # 24-01**  
**ADDENDUM NO. 2**

May 15, 2024

Owner: Visions In Education  
11931 Foundation Place  
Gold River, CA 95670

Architect: GRA Architecture, Inc.  
205 23<sup>rd</sup> Street, Suite 130  
Sacramento, CA 95816

Project Manager: Capital Program Management, Inc.  
1851 Heritage Lane, Suite 210  
Sacramento, CA 95815

This Addendum has been prepared to clarify, modify, delete, or add to the drawings and/or specifications for the above referenced project, and revisions to items listed here shall supersede description thereof prior to the above stated date. All conditions not specifically referenced here shall remain the same. It is the obligation of the Prime Contractor to make subcontractors aware of any items herein that may affect submitted bids.

Acknowledge receipt of this addendum by inserting its number and date in the bidding documents. Failure to do so may subject bidder to disqualification.

All addenda items refer to the plans and specifications unless specifically noted otherwise.

TOTAL PAGES IN THIS ADDENDUM (including attachments): **21**



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**PART A - BIDDING AND CONTRACT REQUIREMENTS**

**2.1 The "Bid Submission Deadline" has not changed. The "Bid Submission Deadline" is May 23, 2024 by 3:00:00 PM. "Place of Bid Receipt" is 5030 El Camino Avenue, Carmichael, CA 95608**

**2.2 Refer to Milestone Schedule, Task Name - Post Bid and replace with the following:**

Post Bid Interviews will be conducted on Tuesday, June 4, 2024 and / or Thursday, June 6, 2024 - if needed.

**PART B - TECHNICAL REQUIREMENTS**

**2.3 Refer to Sheet A4.0, Finish Schedule**

- Room 144 should read Floor "06" for (N) Epoxy Finish.
- Rooms 138, 140, 141, 142, 201 should read Floor "01-C1" for (N) Carpet Tile.

**2.4 Refer to Sheet A4.1 Finish Legend, Floor "03" (E) Epoxy Finish**

- This should read Floor "03" (E) Concrete Floor, finish to remain as is.

**2.5 Refer to Sheet A4.1 Finish Legend, Floor 01**

- This should read Floor "01-C1", typical for all rooms showing Floor 01. Room 200 Lobby to include C3 for the stairs. This is a broadloom carpet with contrasting insets to comply with ADA requirements at treads.

**2.6 Refer to Sheet A4.2, Finish Material Specification**

- This should read Concrete Sealer – 03 – No Finish
- **Replace** Concrete Epoxy 06 - Euclid Versatile Epoxy Flooring Binder with Dur-A-Gard by Dur-A-Flex. Solid color 100% solids epoxy flooring system. Color to be selected by Owner per the gray color options.

**2.7 Refer to Sheet A5.0, Opening Schedule – Add Door to Room 254.**

- Existing "dutch" door at Room 254 to be removed and replaced with a SCWD stained to match existing doors. Frame to remain. Hardware Group #1

**PART C – DRAWINGS**

**2.8 Refer to the attached Handrail Detail (Attachment 2.11)**



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- At the wall side of the handrail, add steel support to match existing steel for extension to the existing handrail one tread width from the bottom tread that matches the existing wood profile and finish.

**2.9 Refer to Visions In Education, Bid Set Plans:**

**Replace** the following sheets identified as ADDENDUM 2: 5-14-24

Sheet A0.0	Title Sheet, General Notes and Symbols
Sheet A2.5	Exist/Demo 1 <sup>st</sup> Reflected Ceiling Plan
Sheet A2.6	New 1 <sup>st</sup> Reflected Ceiling Plan
Sheet A2.7	Exist/Demo 2nd Reflected Ceiling Plan
Sheet A2.8	New 2nd <sup>t</sup> Reflected Ceiling Plan
Sheet A4.0	First Floor Finish Schedule and Details
Sheet A4.1	Second Floor Finish Schedule and Details
Sheet A4.2	Finish Material Specification
Sheet M0.1	Mechanical Legend, Schedule & Notes
Sheet M1.1	Mechanical Demolition First Floor Plan
Sheet M2.1	Mechanical First Floor Plan
Sheet P0.1	Plumbing, Legend, Schedules & Notes
Sheet P2.1	Plumbing First Floor Plans

**PART D – BIDDERS QUESTIONS**

**2.10 REFER TO FOLLOWING BIDDER'S RFI'S:**

**QUESTIONS #1 THRU #21 were responded to in Addendum #1**

**Note:** Question #21 was answered in Addendum #1 stating that there were no fire alarm as-builts available. These drawings have since been located and are posted on the Visions In Education website, for reference only. The as-builts have not been confirmed to be the most current.

**QUESTION #22:** Please confirm construction during normal working hours related to the business park requirements.

**Response:** Contractor access is Monday thru Friday from 6am to 7pm. If weekend work, the Owner is to be notified.

**QUESTION #23:** Door Frames per Addendum 1. Question #19 states that the storefront type Arcadia door and window frames are acceptable. The existing frames are Western or Timely per the walkthrough and our pictures confirm. To retain the same look as the existing, we would prefer to use the Timely or Western. Are they acceptable?



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**Response:** Timely or Western are acceptable.

**QUESTION #24:** Since the window coverings are not in contract – how do you want the existing ones dealt with for painting and dust control?

**Response:** Contractor to demo and dispose of the existing window coverings and track at the exterior windows only. Repair and prep drywall where needed in location of track removal for painting scope. PIP

**QUESTION #25:** The existing wood base and wainscot in the entrance lobby as well as a few of the existing doors have some scratches on them. Do you want the painters to deal with them?

**Response:** Contractor to include the prep and finish of existing wood base and wainscot wood elements in the entrance lobby. Finish to match existing.

**QUESTION #26:** Could you please confirm which type of carpet should be considered for the areas labeled as 01, as most rooms are designated as 01-C1/C2 for carpet, while a few are simply labeled as 01 ((N) Carpet Tile)? We have four types of carpet available as specified in the Finish Material Specification (Page A4.2).

**Response:** Areas labeled as “01” should be labeled “01-C1”.

**QUESTION #27:** Would you consider changing the RFP response deadline to electronic submittal only on 5/23, and hard copies before end of day the next day? With this being a hard bid and a statement of qualifications, it would make things drastically easier if we could focus on qualifying bids and submitting a complete response on 5/23 before the deadline, rather than also trying to print, bind, and deliver our proposal.

**Response:** Response deadline to remain for hard copy submittal.

**QUESTION #28:** Existing and new electrical outlets are bolded and hard to exact on what is existing and new on sheets E3.0.1, E3.0.2, E3.1 and E3.2. What determines a new device from an existing to remain device? There is an arrow, but there is also a round with a large cloud on items that were not stated to be moved or relocated. Please differentiate the line type and line thickness for new and existing.

**Response:** Refer to both Power & Signal Demolition Plans E3.0.1, E3.0.2 and Power & Signal Plans E3.1, E3.2 issued in Addendum #1. New receptacles are darker in line thickness.



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**QUESTION #29:** We represent the Corflex brand for operable partitions. Is Corflex acceptable in lieu of the Basis of Design?

**Response:** Please price the operable wall as specified.

**QUESTION #30:** Please provide Title 24 sheets showing compliance for new lighting.

**Response:** There is no new interior lighting being proposed for this project. Fixtures are being relocated. Title 24 is not required.

**QUESTION #31:** Two (2) new exterior lights are shown on the north elevation, they are not reflected on E2.1. Please clarify if these fixtures are part of scope. If so, please provide fixture type, circuit and controls.

**Response:** Contractor to provide new exterior wall pack light fixtures, required conduit, switching and controls, as needed.

**QUESTION #32:** There are some discrepancies in the lighting plan. Please see the attached lighting layout markup. It appears that most of the light fixtures need to be relocated, removed or new. Can you please confirm this is the intent?

**Response:** Please refer to sheets A2.5 thru A2.8 in this addendum set. Scope for this project includes some relocation of lighting fixtures.

**QUESTION #33:** Plumbing sheets show (2) new recessed water boxes for new ice makers at the 1<sup>st</sup> floor break room. Plan note 22 per A2.1 states the new ice machines are owner furnished and owner installed. If these are ice machines, they will more than likely require a drain. If this is the case, do you want all teams to provide a floor sink in the room?

**Response:** See sheet P2.1 in this addendum set.

**QUESTION #34:** Project is listed as a "B" occupant with more than 100 persons above the 1st floor, therefore, notification throughout is required. Does the existing Fire Alarm System have notification (Horn/Strobes & Strobes) throughout the facility?

**Response:** Fire Alarm System scope to be coordinated with existing fire alarm as-built drawings that have been posted on the Visions In Education website, for reference.

**QUESTION #35:** Sacramento Control Systems (current FA monitoring company for the building) has requested AS -Built Fire Alarm plans for the building. Request to share the plans with NYECON or their fire alarm engineer.?



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**Response:** Fire alarm as built drawings have been posted on the Visions In Education website, for reference.

**QUESTION #36:** Key note #33 indicates (2) ice machines. Can we get the model number of the owner provided machine? Does it require any kind of drain?

**Response:** Cut sheets are provided in this addendum as Attachment 2.12. See Sheet P2.1 for drain location.

**QUESTION #37:** Keynotes #9 and #10 freezer at the break room #208. Do either of these items require a water connection or drain? Neither is shown on the p sheets.

**Response:** Water connection and drains are shown on P2.2.

**QUESTION #38:** Drawings Indicate removal and replacement of VAV's 2-6, 2-7 and 2-23. Will the HWS and HWR per detail "D" sheet M3.1 be done by mechanical or the plumbing contractor?

**Response:** The HWS and HWR piping to be installed by the Mechanical Contractor.

**QUESTION #39:** Please provide a detail for the attachment of the (N) HSS4 x 4 x 3/16" at the roof.

**Response:** See Detail 2/S5.1. The H.S.S. does not extend to the underside of the roof.

**QUESTION #40:** Please provide a detail for the attachment of the sheet metal studs to the top of the beam supporting the operable walls.

**Response:** See 9/S5.1 for brace connections to WF.

**QUESTION #41:** Are there going to be required lighting control for the fixtures being reused on the second floor, including daylight zoning. How are we proceeding with this?

**Response:** Refer to E2.1 and E2.2 Lighting Plans, price as shown.

**List of Attachments**

- 2.11** Handrail Extension Detail (1 Page)
- 2.12** Cut Sheets for OFOI Ice Machines (1 Page)

**End of Addendum**





**Addendum No. 2 – Attachment 2.11**  
**Visions In Education – Tenant Improvement Project #24-01**  
**Hand Rail Extension Detail**



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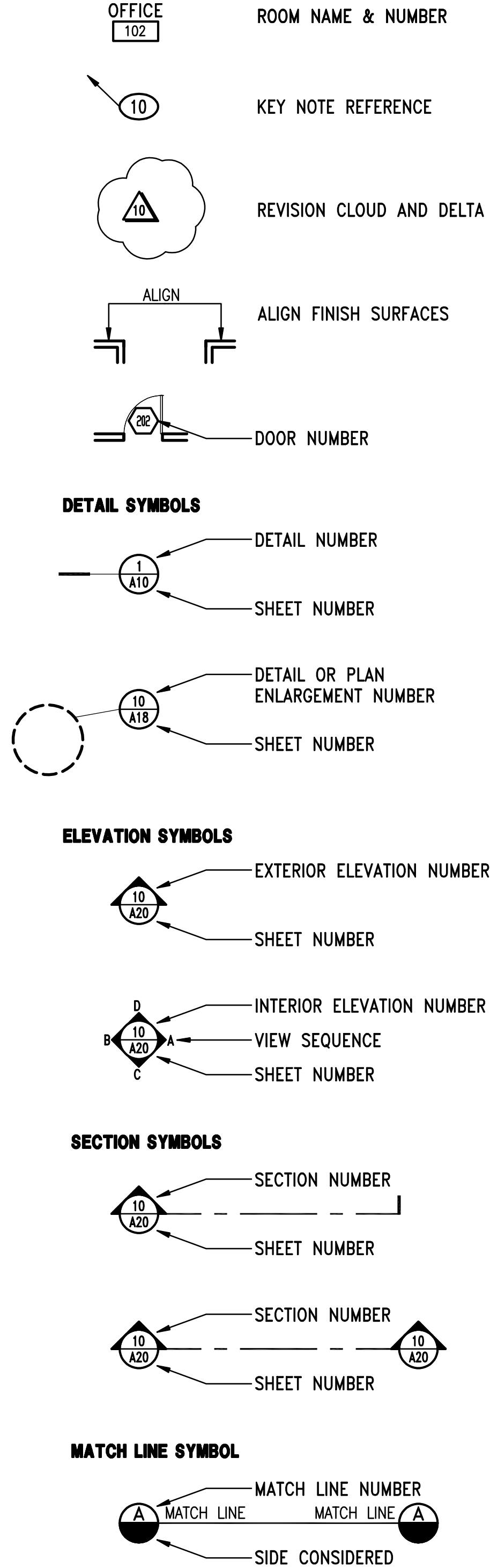
Addendum No. 2 – Attachment 2.12  
Visions In Education – Tenant Improvement Project #24-01  
Ice maker Cut Sheet - OFOI



ABBREVIATIONS

— A —	AIR CONDITIONING A.C. ACUST. ADJUSTABLE ALUM. ALUMINUM ARCH. ARCHITECTURAL ASPH. ASPHALT A.B. ANCHOR BOLT	— M —	MEDICINE CABINET M.C. MEDIUM DENSITY FIBERBOARD MDL. MODEL MECH. MECHANICAL MFG. MANUFACTURED MIN. MINIMUM M.T. METAL THRESHOLD MTL. METAL MUL. MULLION MAX. MAXIMUM M.S. METAL STUD
— B —	BUILDING BLCK. BLOCK OR BLOCKING BRKT. BRACKET BOT. BOTTOM BM. BEAM	— N —	NOT IN CONTRACT N.I.C. NUMBER N.T.S. NOT TO SCALE
— C —	CABINET C.B. CATCH BASIN CEM. CEMENT C.I. CAST IRON CK. BD. CHALK BOARD CER. CERAMIC CLG. CELL LING CLOS. CLOSET COL. COLUMN COMP. COMPOSITION CONC. CONCRETE CONT. CONTINUOUS CORR. CORRIDOR CSK. COUNTERSINK C.T. CERAMIC TILE C. CONCRETE MASONRY UNIT	— O —	OBSCURE O.C. ON CENTER O.D. OUTSIDE DIMENSION O.H.W.S. OVAL HEAD WOOD SCREW OPENING OPP. OPPOSITE OV/ OVER O.F.C. OUTSIDE FACE OF CONCRETE O.F.S. OUTSIDE FACE OF STUD O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED
— D —	D.B. DOOR BELL D.D. DOOR DIMENSION DTL. DETAIL D.F. DRINKING FOUNTAIN DIAG. DIAGONAL DIM. DIMENSION DISP. DISPOSAL D.P. DIMENSION POINT DR. DOOR D.S. DOWN SPOUT DIA. DIAMETER DN. DOWN DWGS. DRAWINGS	— P —	PITCH P.B. PANIC BOLT P.LAM. PLASTIC LAMINATE PERF. PERFORATED PKT. POCKET PL. or PL. PLASTER PLYMD. PLYWOOD R&S. ROLL AND SHELF PT. POINT PTN. PARTITION PR. PAIR
— E —	E.A. EACH E.F. ELECTRIC FAN E.G. EXISTING GRADE E.J. EXPANSION JOINT ELEC. ELECTRIC ELEV. ELEVATION EQ. EQUAL EXH. EXHAUST EXP. AGG. EXPOSED AGGREGATE EXIST. EXISTING EXT. EXTERIOR & or EQUIP. AND EQUIPMENT	— Q —	QUANTITY QUAN. QUANTITY
— F —	F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.H.W.S. FLAT HEAD WOOD SCREW FIN. FINISH FLR. FLOOR FIX. FIXTURE FLSG. FLASHING F.O.C. FACE OF CONCRETE F.O.S. FACE OF STUD F.O.SH. FACE OF SHEATHING F.O.W. FACE OF WALL FT. FOOT OR FEET FTG. FOOTING FURR. FURRING FRM. FRAME	— R —	RADIUS R.A. RETURN AIR R.D. ROOF DRAIN REF. REFERENCE REFR. REFRIGERATOR REG. REGISTER REINF. REINFORCING REQ'D. REQUIRED RES. RESAWN R.H.W.S. ROUND HEAD WOOD SCREW R.M. ROOM RND. ROUND ROS. ROUGH SAWN RWD. REDWOOD
— G —	GALV. GALVANIZED G.I. GALVANIZED IRON GL. GLASS G.S.D. GLASS SLIDING DOOR GYP. BD. GYPSUM BOARD	— S —	SINK S.A. SUPPLY AIR S.C. SOLID CORE SECT. SECTION SHTG. SHEATHING SHLV. SHELVING SHT. SHEET SHWR. SHOWER SIM. SIMILAR S.M. SHEET METAL S.M.S. SHEET METAL SCREW SQ. SQUARE S.S. SERVICE SINK S.STL. STAINLESS STEEL STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SW. SWITCH
— H —	H.C. HOLLOW CORE HWD. HARDWOOD HWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL HORIZ. HORIZONTAL H.S. HORIZONTAL SLIDING HTR. HEATER	— T —	TREAD T.B. TACK BOARD T.C. TOP OF CONCRETE OR CURB T.J. TOOL JOINT TYP. TYPICAL T & G TONGUE AND GROVE
— I —	I.C. INTERCOM I.D. INSIDE DIMENSION IN. INCHES INSUL. INSULATION INT. INTERIOR	— U —	URINAL U.V. UNIT VENTILATOR
— J —	JAN. JANITOR JST. JOIST JUN. JUNCTION	— V —	VENT V.C.T. VINYL COMPOSITION TILE VERT. VERTICAL VEST. VESTIBULE
— K —	KIT. KITCHEN	— W —	W.C. WATER CLOSET WD. WOOD W.D. WINDOW DIMENSION W.H. WATER HEATER WIN. WINDOW W.I.N.S. WINDSCOT W.P. WEATHERPROOF W/ WITH
— L —	LAM. LAMINATED LAV. LAVATORY LBS. POUNDS LDR. LEADER L.LNO. LINOLEUM LOUV. LOUVER	— Y —	YARD YD. YARD

SYMBOLS



BUILDING CODE COMPLIANCE

**TITLE 24 CALIFORNIA CODE OF REGULATIONS**

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR)

2022 CALIFORNIA BUILDING CODE (2021 IBC AND 2022 CA AMENDMENTS – PART 2, TITLE 24, CCR)

2022 CALIFORNIA ELECTRICAL CODE (2020 NEC AND 2022 CA AMENDMENTS – PART 3, TITLE 24, CCR)

2022 CALIFORNIA MECHANICAL CODE (2021 UMC AND 2022 CA AMENDMENTS – PART 4, TITLE 24, CCR)

2022 CALIFORNIA PLUMBING CODE (2021 UPC AND 2022 CA AMENDMENTS – PART 5, TITLE 24, CCR)

2022 CALIFORNIA ENERGY CODE (PART 6, TITLE 24, CCR)

2022 CALIFORNIA FIRE CODE (2021 IFC AND 2022 CA AMENDMENTS – PART 9, TITLE 24, CCR)

2022 CALIFORNIA EXISTING BUILDING CODE (2021 IEBG AND 2022 CA AMENDMENTS – PART 10, TITLE 24, CCR)

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (2021 IBC AND 2022 CA AMENDMENTS – PART 11, TITLE 24, CCR)

2022 CALIFORNIA REFERENCED STANDARDS CODE (PART 12, TITLE 24, CCR)

DESIGN TEAM

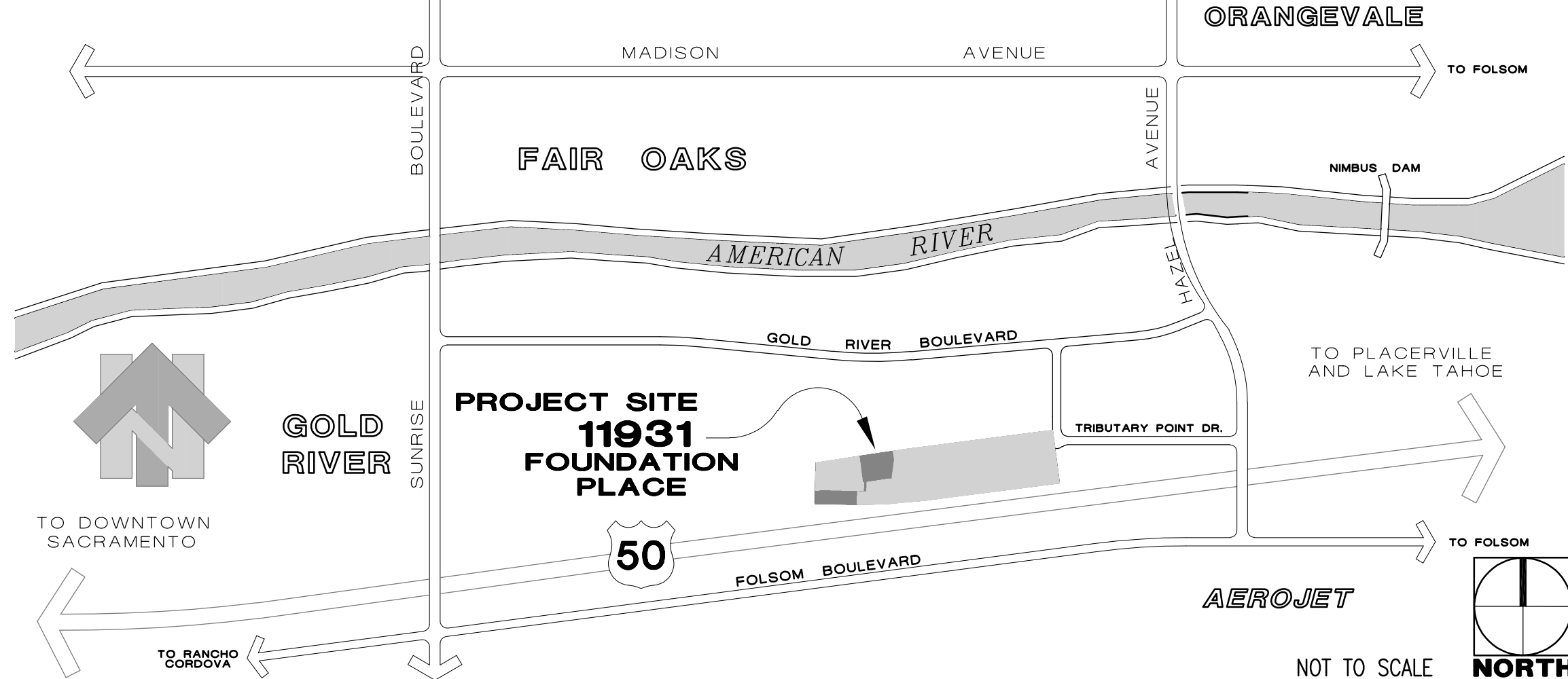
**ARCHITECT:**  
GRA ARCHITECTURE  
205 23rd STREET, SUITE 130  
SACRAMENTO, CA 95816  
MIKE BUSCHOW PHONE: (916) 498-7900

**STRUCTURAL ENGINEER**  
BEVIER STRUCTURAL ENGINEERING  
2479 SUNRISE BOULEVARD  
GOLD RIVER, CALIFORNIA 95670  
PHONE: (916) 631-3030  
(916) 631-8996

**PLUMBING ENGINEER**  
TURLEY & ASSOCIATES  
2431 CAPITOL AVE.  
SACRAMENTO, CA 95816  
PHONE: (916) 325-1065  
FAX: (916) 325-1075

**ELECTRICAL:**  
CAPITOL CITY DESIGN, INC.  
1751 CEBRIAN STREET  
WEST SACRAMENTO, CA 95691  
TONY BAKER PHONE: (916) 375-0135

VACINITY MAP



PARKING:

PARKING STALLS:	REQUIRED	PROVIDED
OFFICE (1/250 S.F.)	223	227
WAREHOUSE (1/1000 S.F.)	7	7
ASSEMBLY (3,476/30/5)	24	24
TOTAL:	254	258

ACCESSIBLE PARKING STALLS PROVIDED = 6

BIKE PARKING:

SHORT TERM BICYCLE PARKING – (5.106.4.1.1 GBC)  
5% OF PARKING = 13 BIKES

LONG TERM BICYCLE PARKING – (5.106.4.1.2 GBC)  
5% OF PARKING = 13 BIKES

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FIRE PROTECTION

FP0.0 FIRE SPRINKLER COVER PAGE  
FP2.1 FIRE SPRINKLER FIRST FLOOR  
FP2.2 FIRE SPRINKLER SECOND FLOOR

CODE INFORMATION

**ZONING:** MP – OFFICE PARK

**TYPE OF CONSTRUCTION:** (E) III-A SPRINKLED

**OCCUPANT TYPES:** B

**PROJECT AREA:**

1ST FLOOR	= 32,677 SQ.FT.
2ND FLOOR	= 32,677 SQ.FT.
TOTAL	= 65,354 SQ.FT.

	SO.FT. ALLOWANCE		BLDG. HEIGHT	NUMBER OF STORIES	
	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ALLOWED
(506.2)					
FIRST FLOOR					
B OFFICE	29,770	150,000	85'	2	5
S-1 STORAGE	2,907	104,000	85'	2	6
SECOND FLOOR					
B OFFICE	29,201	150,000	85'	2	5
A-3 ASSEMBLY	3,476	62,000	85'	2	6
TOTALS	65,354	466,000			

**MIXED USE & OCCUPANCIES** (TABLE 508.4)

B/S-1 = NO SEPARATION REQUIREMENT

B,S-1/A-3 = 1HR SEPARATION

OCCUPANT LOADS

B OCCUPANCY = \_\_\_ OCCUPANTS ( ) EXITS REQUIRED  
S-1 OCCUPANCY = \_\_\_ OCCUPANTS ( ) EXITS REQUIRED  
A-3 OCCUPANCY = \_\_\_ OCCUPANTS ( ) EXITS REQUIRED

TOTAL = \_\_\_ OCCUPANTS

PLUMBING REQUIREMENTS (TABLE 422-1 CPC)

1ST FLOOR  
B OCCUPANCY = 29,770/200 = 148 MALE = 74 FEMALE = 74  
S-1 OCCUPANCY = 2,907/5,000 = .58

2ND FLOOR  
B OCCUPANCY = 29,201/200 = 146 MALE = 73 FEMALE = 73  
A-3 OCCUPANCY = 3,476/30 = 115 MALE = 56 FEMALE = 56

	WATER CLOSETS	URINALS	LAVS	SHOWERS	DRINKING FOUNTAINS	SERVICE SINK
1ST FLOOR						
B OCC. MALE	2	1	1	—	1	—
B OCC. FEMALE	4	—	2	—	—	—
2ND FLOOR						
B OCC. MALE	2	1	1	—	1	—
B OCC. FEMALE	4	—	2	—	—	—
A-3 OCC. MALE	1	1	1	—	—	—
A-3 OCC. FEMALE	3	—	1	—	1	—

REQUIRED EXITS (TABLE 1006.3.2)

2ND FLOOR OCCUPANCY = 421 O.L.  
1ST FLOOR OCCUPANCY = 186 O.L.  
TOTAL = 607 O.L.  
607 < 1000 – 3 EXITS REQUIRED

TOTAL TRAVEL DISTANCE

(TABLE 1017.2)  
B= 300' (SPRINKLED)

CORRIDOR WIDTH

(TABLE 1020.3)  
44" MINIMUM

CORRIDOR FIRE RESISTANCE

(TABLE 1020.2)

B OCCUPANCY (SPRINKLED)

> 30 = 0 HOUR

DEAD END CORRIDORS

(TABLE 1020.4)

B OCCUPANCY (SPRINKLED) = 50'



205 23rd Street, Suite 130  
Sacramento, CA 95816  
916 498-7900



VISIONS IN EDUCATION  
TENANT IMPROVEMENT  
11931 FOUNDATION PLACE  
GOLD RIVER, CA. 95670  
APN: 069-0260-015

TITLE SHEET,  
GENERAL NOTES  
AND SYMBOLS

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ARCHITECT, INC. (G&A), AND MAY NOT BE REPRODUCED WITHOUT THE  
WRITTEN PERMISSION OF G&A.

REVISIONS

ADDENDUM 2 5-14-2024

DATE MARCH 20, 2024

SCALE AS NOTED

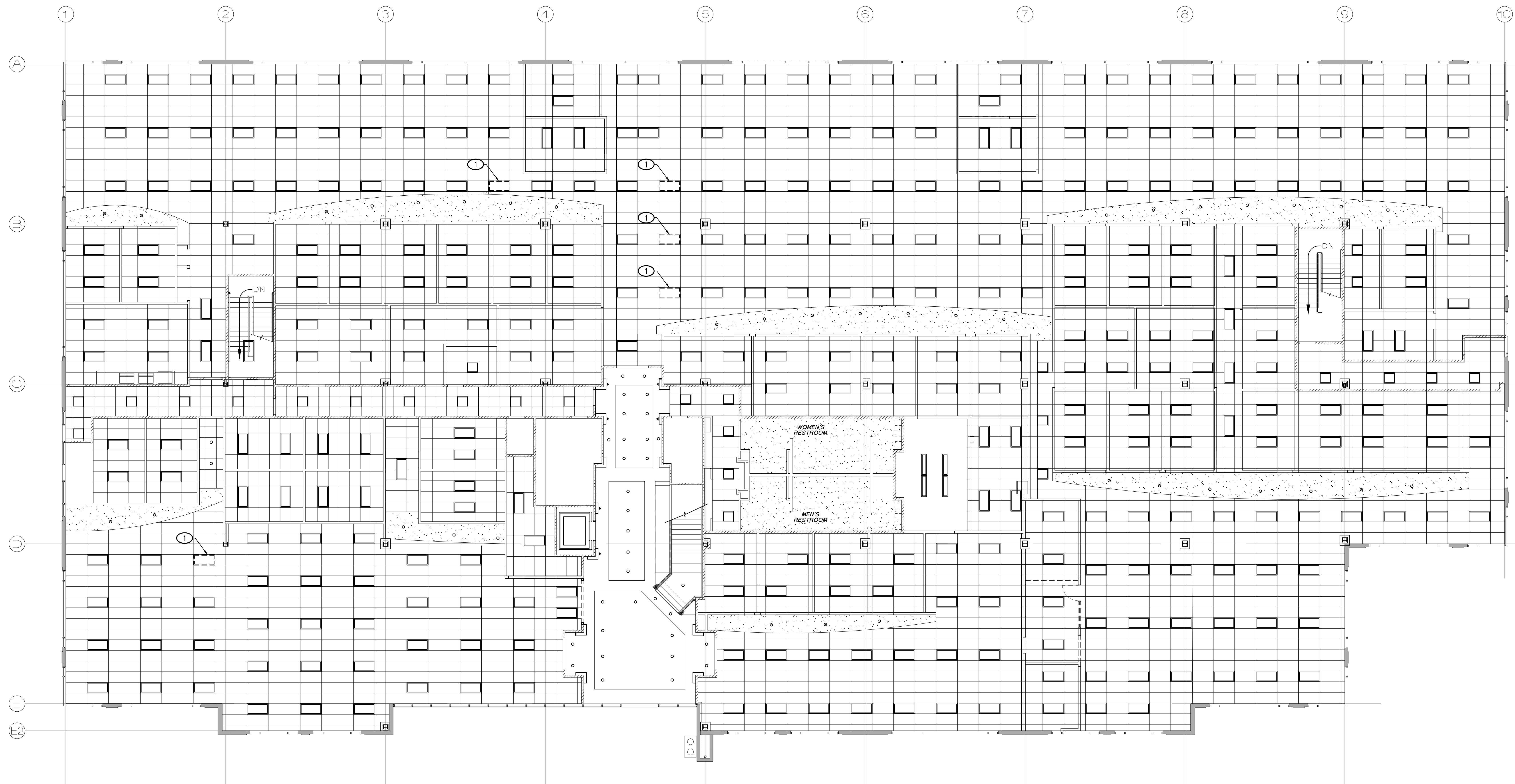
DRAWN BY -

JOB NO. 22-19

SHEET

A0.0

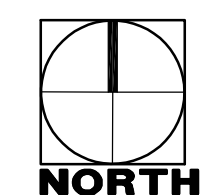


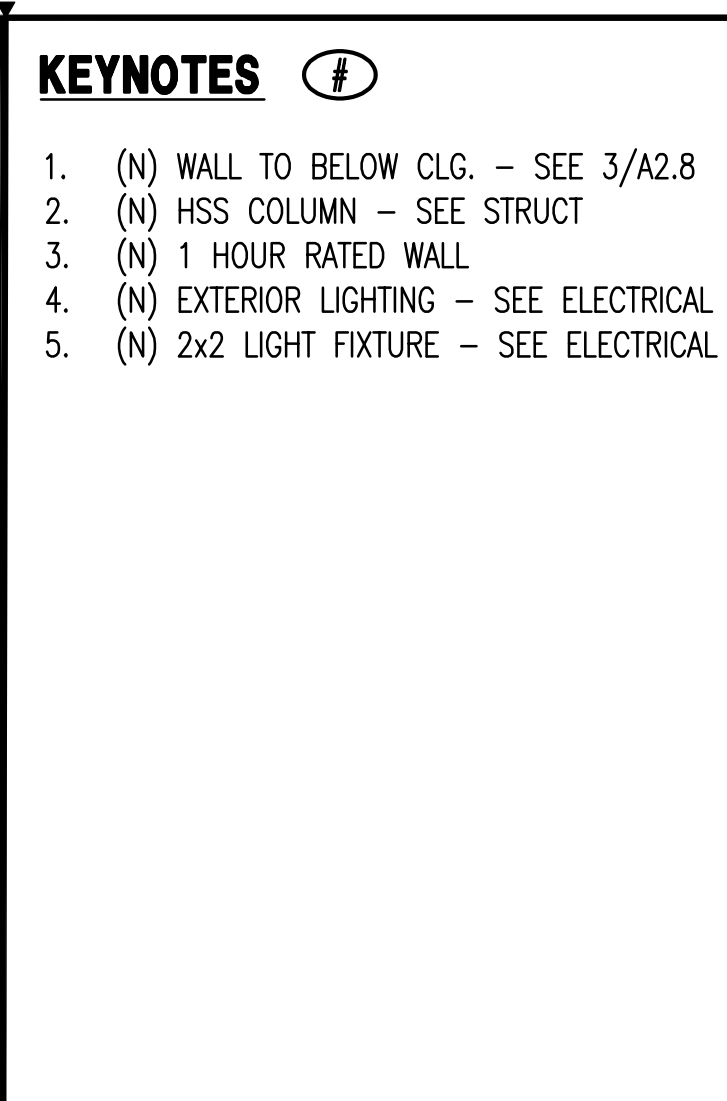


**1** **EXIST/DEMO 1st REFLECTED CEILING PLAN**  
1/8"=1'-0"

$1/8" = 1'-0"$

0 2' 6' 12' 24'









VISIONS IN EDUCATION  
TENANT IMPROVEMENT  
11931 FOUNDATION PLACE  
GOLD RIVER, CA. 95670

EXIST/DEMO  
2nd FLOOR  
REFLECTED  
CEILING PLAN

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REVISIONS  
ADDENDUM 2 5-14-2024

DATE MARCH 20, 2024

SCALE AS NOTED

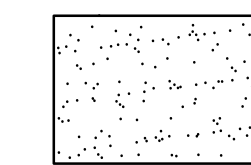
DRAWN BY

JOB NO. 22-19

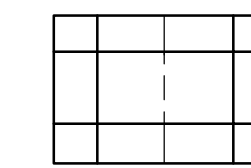
SHEET

A2.7

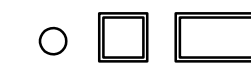
CEILING LEGEND



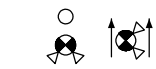
HARD LID CEILING



2X4 SUSPENDED ACOUSTIC CEILING



LIGHT FIXTURES - SEE ELECTRICAL



EXIT SIGNS - SEE ELECTRICAL



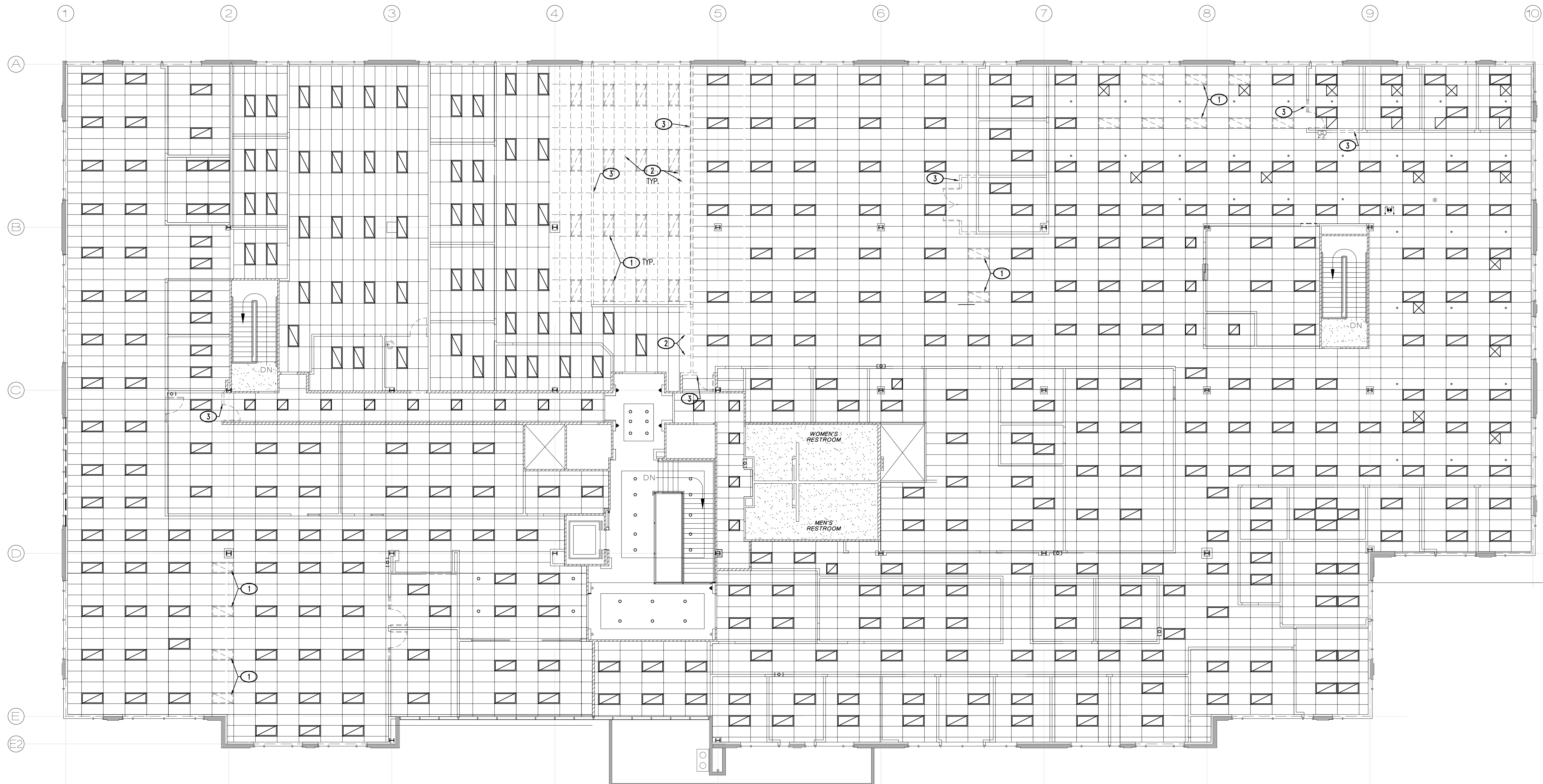
MECHANICAL DIFFUSERS - SEE MECHANICAL

• FIRE SPRINKLER

• FIRE STROBE

KEYNOTES #

1. LIGHT FIXTURE TO BE REMOVED, STORED FOR RELOCATION
2. CEILING GRID TO BE REMOVED
3. EXISTING WALL OR PORTION OF WALL TO BE REMOVED



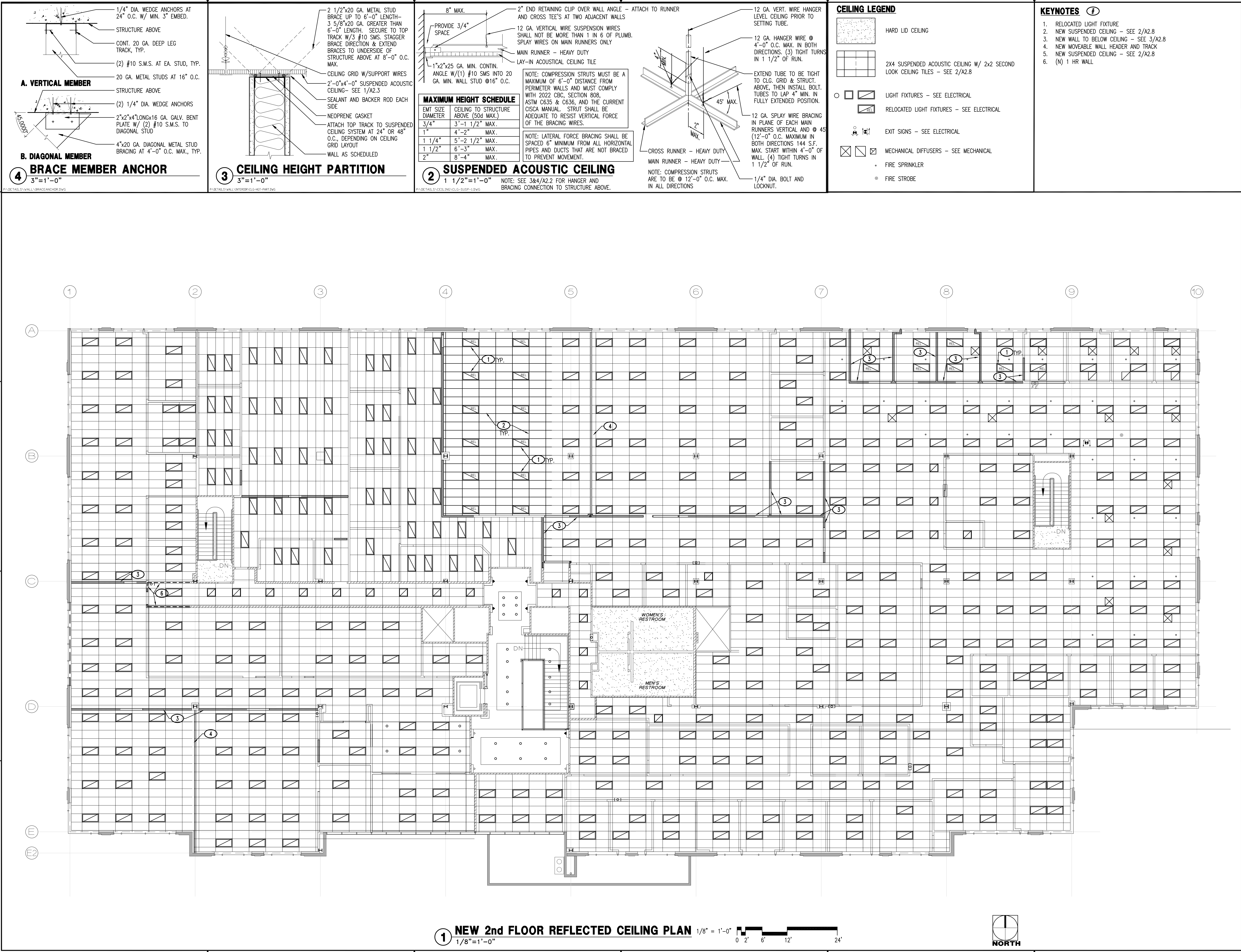
1 EXIST/DEMO 2nd FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"  
1/8" = 1'-0"

0 2' 6' 12' 24'







GRAarchitects

205 23rd Street, Suite 130  
Sacramento, CA 95816  
916 498-7900

VISIONS IN EDUCATION  
TENANT IMPROVEMENT  
11931 FOUNDATION PLACE  
GOLD RIVER, CA. 95670

NEW  
2nd FLOOR  
REFLECTED  
CEILING PLAN

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REVISIONS

ADDENDUM 2 5-14-2024

DATE

MARCH 20, 2024

SCALE

AS NOTED

DRAWN BY

-

JOB NO.

22-19

SHEET

A2.8



FINISH SCHEDULE													FINISH SCHEDULE												
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				WAINSCOT		CEILING		REMARKS	ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				WAINSCOT		CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	FINISH	HEIGHT						NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	FINISH	HEIGHT	
FIRST FLOOR													FIRST FLOOR												
164	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	100	LOBBY	05/01-C2	12 (E)	P-1	P-1	P-1	P-1	-	-	31B	-	C-2 INSETS (2)
165	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	101	ELEVATOR	-C2	11	-	-	-	-	-	-	-	-	-
166	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	102	RECEPTION	01-C1	11	31B/P-4	31B/P-1	31B/P-1	31B/P-4	-	-	44	-	-
167	MEETING ROOM	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-	103	OPEN OFFICE	01-C1*	11	(E)/P-3	31B/P-3	(E)/P-1	31B/P-2	-	-	(E)	-	REMARK #1 & #9
168	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	104	ENROLLMENT	01-C1	11	(E)/P-3	31B/P-1	(E)/P-1	(E)P-1	-	-	44	-	-
169	MEETING ROOM	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-	105	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
170	CORRIDOR	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	C-2 AT EXIT #3	106	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
171	ORDER SERVICES OPEN OFFICE	01-C1	11	P-3	P-1	P-1	P-3	-	-	(E)	-	-	107	OFFICE	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	-
172	MEETING ROOM	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-	108	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
173	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	109	OFFICE	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	-
174	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-	110	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
175	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-	111	OFFICE	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	-
176	SERVER	03 (E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #10	112	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
177	WOMENS RESTROOM	05 (E)	12 (E)	P-1	P-1	P-1	P-1	21	48"	(E)	-	REMARK #7, #11	113	SERVER ROOM	02-(E)	11-(E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #10
178	MENS RESTROOM	05 (E)	12 (E)	P-1	P-1	P-1	P-1	21	48"	(E)	-	REMARK #7, #11	114	CLOSET	02-(E)	11-(E)	P-1	P-1	P-1	P-1	-	-	(E)	-	-
179	MECHANICAL ROOM	03 (E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #10	115	ELECTRICAL ROOM	03-(E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #10
180	STAIRS WEST	02 (E)	11 (E)	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARK #6 & #8	116	CORRIDOR	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARK #1
181	STAIRS EAST	02 (E)	11 (E)	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARK #6	117	CORRIDOR	01-C1	11	P-1	P-3	P-1	P-3	-	-	(E)	-	REMARK #1
													118	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													119	NURSE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													120	OCCUPATIONAL/ADAPTIVE P.E.	01-C1	11	P-3	P-1	P-1	P-1	-	-	(E)	-	-
													121	CORRIDOR	02-C1/C2	11	P-1	P-3	P-1	P-1	-	-	(E)	-	C-2 AT EXIT #2
													122	BREAK ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARK #2
													123	HALL	01-C1	11	(E)	P-3	P-3	P-3	-	-	(E)	-	-
													124A	HR OPEN OFFICE	01-C1	11	P-1	(E)	P-3	P-1	-	-	(E)	-	-
													124B	FISCAL SERVICES	01-C1	11	P-1	P-2	P-3	(E)	-	-	(E)	-	-
													125	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													126	MEETING ROOM	01-C1	11	P-1	P-1	P-4	P-1	-	-	(E)	-	-
													127	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													128	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													129	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													130	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													131	CORRIDOR	03-C1*	11	P-1	P-2	P-2	P-3	-	-	(E)	-	REMARK #1 & #3
													132	CONFERENCE	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													133	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													134	TESTING OFFICE #1	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													135	TESTING OFFICE #2	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													136	MEETING ROOM	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													137	WAREHOUSE	06	11	P-1	P-3	P-2	P-1	-	-	(E)	-	-
													138	TOOL / WORKROOM	03	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													139	OFFICE MANAGER	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													140	STORAGE	03	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													141	STORAGE	03	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													142	KEY ROOM	03	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													143	TECH SERVICES	06	11	P-1	P-1	P-3	P-3	-	-	(E)	-	REMARKS #3 & #4
													144	STS	03	11	P-1	P-1	P-2	P-1	-	-	(E)	-	REMARK #3
													145	STS LOBBY	01-C1	11	P-1	P-1	P-4	P-1	-	-	(E)	-	-
													146	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													147	MEETING ROOM	01-C1	11	P-1	P-1	P-4	P-1	-	-	(E)	-	-
													148	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													149	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													150	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													151	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													152	STORAGE	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													153	HALL	01-C1	11	(E)	P-2	P-3	P-3	-	-	(E)	-	REMARK #3
													154	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													155	PROGRAMMERS	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													156	HALL	01-C1	11	P-3	P-3	(E)	P-3	-	-	(E)	-	-
													157	BUSINESS SERVICES	01-C1	11	P-3	P-1	P-1	P-2	-	-	(E)	-	REMARK #4
													158	MEETING ROOM	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													159	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													160	HALL	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	REMARK #3
													160A	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													161	BREAK ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARK #5
													162	MAIL ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													163	MEETING ROOM	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-



FINISH SCHEDULE													FINISH SCHEDULE												
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				WAINSCOT		CEILING		REMARKS	ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				WAINSCOT		CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	FINISH	HEIGHT						NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	FINISH	HEIGHT	
SECOND FLOOR													SECOND FLOOR												
265	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	200	LOBBY	01-C2	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
266	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	201	-	01	11	(E)	P-1	P-1	P-1	-	-	(E)	-	-
267	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	202	LOUNGE AREA	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
268	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	203	OFFICE	01-C1	11	P-1	P-1	P-3	P-1	-	-	(E)	-	-
269	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	204	SERVER	02 (E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #6
270	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-	205	CORRIDOR	01-C1	11	P-3	P-3	P-1	P-1	-	-	(E)	-	-
271	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	206 A/B	TRAINING	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-
272	MEETING ROOM	01-C1	11	P-1	P-4	P-1	P-1	-	-	(E)	-	-	206 C	TRAINING SUPPLY	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
273	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-	207	TRAINING	01-C1	11	P-2	P-4	P-2	P-2	-	-	(E)	-	-
274	OFFICE	01-C1	11	P-4	P-1	P-1	P-1	-	-	(E)	-	-	208	BREAK ROOM	04 (E)	11 (E)	P-2	P-3	P-2	P-2	-	-	(E)	-	-
275	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	REMARK #2	209	OPEN OFFICE	01-C1	11	P-3	P-3	P-1	P-1	-	-	(E)	-	-
276	SUPPLY ROOM	02 (E)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-	210	DATA	02 (E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #6
277	CONFERENCE	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-	211	CORRIDOR	01-C1	11	P-1	P-1	P-1	P-3	-	-	(E)	-	REMARK #1
278	WOMENS RESTROOM	05 (E)	12 (E)	P-1	P-1	P-1	P-1	21	48"	(E)	-	REMARKS #1, #3 & #8	212	STUDENT RECORDS	01-C1	11	P-1	P-3	P-1	P-1	-	-	(E)	-	-
279	MENS RESTROOM	05 (E)	12 (E)	P-1	P-1	P-1	P-1	21	48"	(E)	-	REMARKS #1, #3 & #8	213	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
280	UTILITIES	03 (E)	11 (E)	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARKS #1 & #6	214	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
281	STAIRS WEST	02 (E)	11 (E)	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARKS #4 & #5	215	SUPPLY ROOM	01-C1	11	P-3	P-3	P-3	-	-	-	(E)	-	-
282	STAIRS EAST	02 (E)	11 (E)	P-1	P-1	P-1	P-1	-	-	(E)	-	REMARKS #4 & #5	216	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													217	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													218	LOBBY	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													219	COPY / SUPPLY	02 (E)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													220	LACTATION ROOM	01 (N)	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													221	COLLABORATION ROOM	01-C1	11	P-1	P-4	P-1	P-1	-	-	(E)	-	-
													222	CONFERENCE ROOM	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													223	OFFICE	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	-
													224	CORRIDOR	01-C1	11	P-2	P-2	P-1	P-1	-	-	(E)	-	-
													225	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													226	BREAK	02 (N)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													227	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													228	MEETING ROOM	01-C1	11	P-1	P-1	P-3	P-1	-	-	(E)	-	-
													229	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													230	CORRIDOR	01-C1	11	P-1	P-2	P-2	P-2	-	-	(E)	-	-
													231	MEETING ROOM	01-C1	11	P-1	P-1	P-3	P-1	-	-	(E)	-	-
													232	MEETING ROOM	01-C1	11	P-1	P-1	P-3	P-1	-	-	(E)	-	-
													233	MEETING ROOM	01-C1	11	P-1	P-1	P-3	P-1	-	-	(E)	-	-
													234 A/B	TRAINING	01-C1	11	P-2	P-2	P-2	P-4	31B	-	(E)	-	P-2 ON COLUMNS
													235	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	31B	-	(E)	-	-
													236	SERVER	02 (E)	11	(E)	(E)	(E)	(E)	-	-	(E)	-	REMARK #6
													237	OPEN OFFICE	01-C1	11	P-3	P-1	P-3	P-1	-	-	(E)	-	WALL OUTSIDE 249, 250 & 282 TO BE P-2
													238	OFFICE	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													239	OFFICE	01-C1	11	P-1	P-1	P-2	P-1	-	-	(E)	-	-
													240	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													241	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	31B	-	(E)	-	-
													242	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	P-1	31/B	(E)	-	-
													243	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	31B	-	(E)	-	-
													244	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													245	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													246	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-
													247	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													248	OFFICE	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													249	SUPPLY ROOM	02 (E)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													250	PRINT	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													251	MEETING ROOM	01-C1	11	P-1	P-1	P-1	P-4	-	-	(E)	-	-
													252	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													253	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	(E)	-	(E)	-	-
													254	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													255	SUPPLY ROOM	01-C1	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													256	CONFERENCE	01-C1	11	P-2	P-2	P-2	P-4	-	-	(E)	-	-
													257	SUPPLY ROOM	02 (E)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													258	BREAK ROOM	02 (E)	11	P-2	P-2	P-2	P-3	-	-	(E)	-	-
													259	CORRIDOR	01-C1	11	P-1	P-3	P-3	P-3	-	-	(E)	-	REMARK #7
													260	RECEPTION	01-C1	11	P-2	P-1	P-1	P-1	-	-	(E)	-	-
													261	CORRIDOR	01-C1	11	P-3	P-1	P-1	P-3	-	-	(E)	-	-
													262	SUPPLY ROOM	02 (E)	11	P-1	P-1	P-1	P-1	-	-	(E)	-	-
													263	OFFICE	01-C1	11	P-1	P-1	P-1	P-2	-	-	(E)	-	-
													264	OFFICE	01-C1	11	P-1	P-2	P-1	P-1	-	-	(E)	-	-



CARPET TILE / BROADLOOM - 01

VCT (VINYL COMPOSITION TILE) – 02

## CONCRETE SEALER – 03

CONCRETE EPOXY - 06

RUBBER BASE - 11

FRP - 21

## PAINT

- ## STAINLESS STEEL PERFORATED WINDOW PANELS

## WOOD DOORS

## VISION PANELS

## METAL DOORS & FRAMES

## STORE FRONT ALUMINUM

## PLASTIC LAMINATE

## SOLID SURFACE COUNTER





## EXTERIOR OVERHEAD ROLL UP DOOR

## OPERABLE PARTITIONS

## GENERAL NOTES

- ## A4.2



NEW VAV BOX SCHEDULE																
SYMBOL	MANUFACTURER	MODEL	SERVED BY	INLET SIZE	MAX. CFM	MIN. CFM	COIL ROWS	GPM	EWT	MAX. WPD	MBH	LAT	VALVE (TYPE)	MAX. APD (IN. WG.)	UNIT WEIGHT	REMARKS
	TITUS	DESV	AHU-1	9	850	350	2	2.0	180	0.47	22.7	--	2-WAY	0.27	25 LBS	RECONNECT (E) HWS & HWR PIPING RECONNECT (E) CONTROLS
	TITUS	DESV	AHU-1	9	750	250	2	2.0	180	0.47	16.4	--	2-WAY	0.24	25 LBS	RECONNECT (E) HWS & HWR PIPING RECONNECT (E) CONTROLS
	TITUS	DESV	AHU-2	14	2000	750	2	2.0	180	0.39	41.8	--	2-WAY	0.41	40 LBS	RECONNECT (E) HWS & HWR PIPING RECONNECT (E) CONTROLS
	TITUS	DESV	AHU-2	12	1200	450	2	2.0	180	0.55	28.8	--	2-WAY	0.07	35 LBS	RECONNECT (E) HWS & HWR PIPING RECONNECT (E) CONTROLS

## MECHANICAL ABBREVIATIONS

AAV	AUTOMATIC AIR VENT	MBH	BTU PER HOUR (THOUSAND)
ABV	ABOVE	MC	MECHANICAL CONTRACTOR
ABC, OH	ABOVE CEILING, OVERHEAD	MIN	MINIMUM
AC	AIR CONDITIONING	MPS	MEDIUM PRESSURE STEAM
AD	ACCESS DOOR	(N) (E)	NEW, EXISTING
ADA	AMERICANS W/ DISABILITIES ACT	N.C.	NORMALLY CLOSED
AE	AIR EXTRACTOR	NEG	NEGATIVE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
AL	ACOUSTICALLY LINED	N.O.	NORMALLY OPEN
AHU	AIR HANDLING UNIT	OBD	OPPOSED BLADE DAMPER
APD	AIR PRESSURE DROP	OC	ON CENTER
BHP	BRAKE HORSEPOWER	OP	OPERATING
BOD	BOTTOM OF DUCT	PH	PHASE
BR	BRANCH	POC	POINT OF CONNECTION
BTU	BRITISH THERMAL UNIT	PSI	POUNDS PER SQUARE INCH
BTUH	BTU PER HOUR	PT	PRESSURE TREATED
CAV	CONSTANT AIR VOLUME	PTDF	PRESSURE TREATED DOUGLAS FIR
CD	CONDENSATE DRAIN	P&TRV	PRESSURE & TEMPERATURE RELIEF VALVE
CFM, f	CUBIC FEET OF AIR PER MINUTE	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
CFS	CUBIC FEET PER SECOND	(R) (D)	RISE, DROP
CL	CENTERLINE	RD, OFL	ROOF DRAIN, OVERFLOW
CNDL	CONDENSATE (LOW PRESSURE)	REF	ROOF EXHAUST FAN
CO	CLEANOUT	REQ'D	REQUIRED
CONC.	CONCRETE	RL	REFRIGERANT LIQUID
CONN.	CONNECT	RPM	REVOLUTIONS PER MINUTE
CR	CONDENSATE RETURN (STEAM)	RS	REFRIGERANT SUCTION
CS	CURRENT SENSOR	SAD	SEE ARCHITECTURAL DRAWINGS
CU	CONDENSING UNIT	SED	SEE ELECTRICAL DRAWINGS
CU FT	CUBIC FEET	SM	SHEET METAL
CU IN	CUBIC INCHES	SMS	SHEET METAL SCREWS
CVB	CONSTANT VOLUME BOX	SOV	SHUT OFF VALVE
CW	COLD WATER	SS	STAINLESS STEEL
DB	DRY BULB	SSD	SEE STRUCTURAL DRAWING
DF	DOUGLAS FIR	STL	STEEL
DIA, Ø	DIAMETER	STMM	STEAM (MEDIUM PRESSURE)
DSP	DUCT STATIC PRESSURE SENSOR	TA, FA	TO ABOVE, FROM ABOVE
EA, OA, RA, SA	EXHAUST, OUTSIDE, RETURN & SUPPLY AIR	TB, FB	TO BELOW, FROM BELOW
E.C.	ELECTRICAL CONTRACTOR	TBR	TO BE REMOVED
ESP	EXTERNAL STATIC PRESSURE	TCC	TEMPERATURE CONTROL CONTRACTOR
EWT	ENTERING WATER TEMPERATURE	TOP	TEMPERATURE CONTROL PANEL THICK
FA	FACE AREA (SQUARE FEET)	THK	THICK
FC	FLEXIBLE CONNECTION	TR	TO REMAIN
FLA	FULL LOAD AMPS	TSP	TOTAL STATIC PRESSURE
FPI	FINS PER INCH	TV	TURNING VANES
FPM	FEET PER MINUTE	TYP	TYPICAL
GALV.	GALVANIZED	UG, UF	UNDERGROUND, UNDER FLOOR
GA	GAUGE	UON	UNLESS OTHERWISE NOTED
GC	GENERAL CONTRACTOR	UTR	UP THROUGH ROOF
GSM	GALVANIZED SHEET METAL	VAC	VOLTS ALTERNATING CURRENT
HP	HORSE POWER	VFD	VARIABLE FREQUENCY DRIVE
HWS	HOT WATER SUPPLY	VIF	VERIFY IN FIELD
HWR	HOT WATER RETURN	WB	WET BULB
HZ	FREQUENCY (HERTZ)	WG	WATER GAUGE
LBS	POUNDS	WOG	WATER OIL GAS PRESSURE RATING
LRA	LOCKED ROTOR AMPS	WP	WATER PRESSURE
LWT	LEAVING WATER TEMPERATURE	WPD	WATER PRESSURE DROP
MAV	MANUAL AIR VENT	WT, AT	WATERTIGHT, AIRTIGHT
MAX	MAXIMUM		

## COMPLIANCE NOTES

MECHANICAL AND PLUMBING EQUIPMENT SHALL CONFORM TO THE FOLLOWING AS STATED IN THE ENERGY EFFICIENCY STANDARDS, 2022.

- BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE EFFICIENCY REQUIREMENTS AS PRESCRIBED IN SECTIONS:
  - 110.1 APPLIANCES REGULATED BY THE APPLIANCE EFFICIENCY STANDARDS:
  - 110.2 HVAC EQUIPMENT EFFICIENCY AND PACKAGED CONTROLS:
  - 110.3 SERVICE WATER HEATING EFFICIENCY AND CONTROLS:
  - 110.4 POOL AND SPA HEATING EFFICIENCY AND CONTROLS:
  - 110.5 RESTRICTIONS ON PILOT LIGHTS:
- BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH SECTIONS.
  - 120.1 REQUIREMENTS FOR VENTILATION:
  - 120.2 REQUIRED CONTROLS FOR HVAC SYSTEMS:
    - 102.2 (H) DEMAND SHED CONTROLS.
    - 120.2 (I) ECONOMIZER FAULT DETECTION & DIAGNOSTIC.
  - 120.3 REQUIREMENTS FOR PIPE INSULATION:
  - 120.4 REQUIREMENTS FOR DUCT INSULATION:
  - 120.5 REQUIREMENTS FOR MECHANICAL SYSTEMS
  - 120.8 BUILDING COMMISSIONING
  - 120.9 REQUIREMENTS FOR COMMERCIAL BOILERS

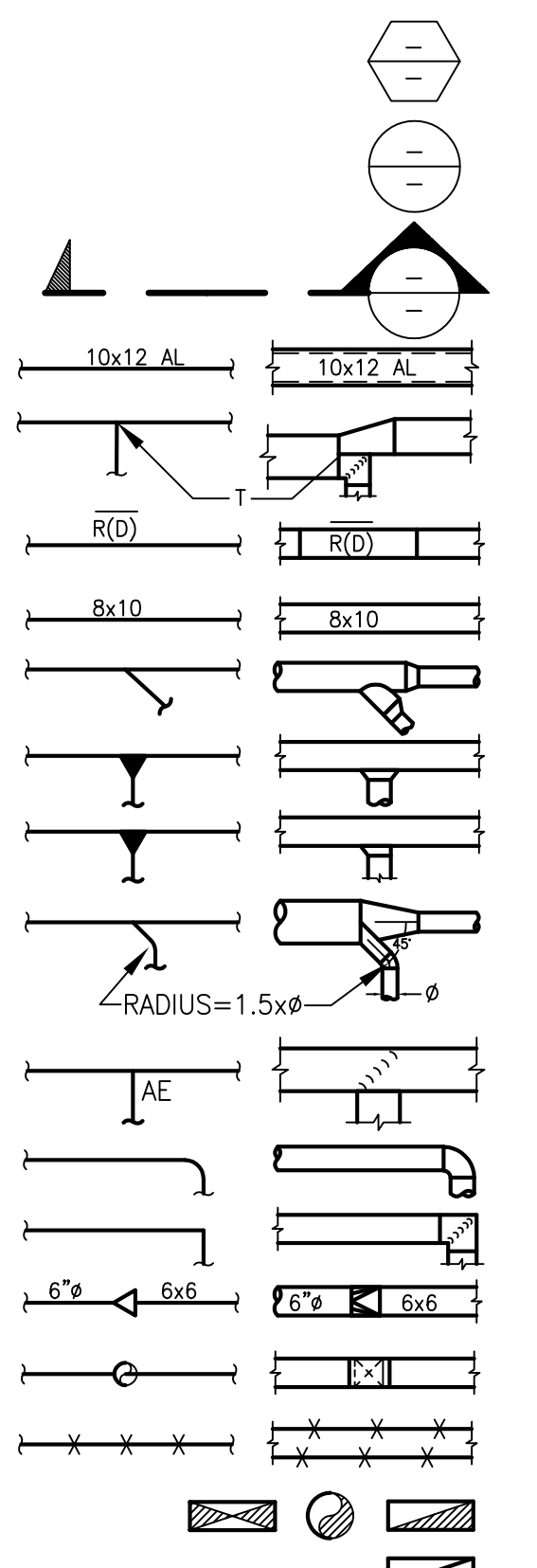
## APPLICABLE CODES

### CODES:

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- STATE OF CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, BUILDING STANDARDS:
  - 2022 EDITION OF THE CALIFORNIA BUILDING CODE.
  - 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE.
  - 2022 EDITION OF THE CALIFORNIA MECHANICAL CODE.
  - 2022 EDITION OF THE CALIFORNIA PLUMBING CODE.
  - 2022 EDITION OF THE CALIFORNIA ENERGY CODE.
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE, CR.

## MECHANICAL LEGEND



UNIT TYPE  
UNIT NUMBER  
DETAIL NUMBER  
SHEET NUMBER ON WHICH DETAIL IS FOUND  
SECTION NUMBER  
SHEET ON WHICH SECTION IS FOUND  
ACOUSTICALLY LINED DUCT - DIMENSIONS ARE OUTSIDE  
BRANCH TAKE-OFF WITH SPLITTER DAMPER & W/ THROAT SIZE AS INDICATED. TRANSITION TO DUCT SIZES SHOWN.  
DUCT RISE (DROP) IN DIRECTION OF AIR FLOW  
DUCT - WIDTH x DEPTH  
LATERAL WITH CONICAL TRANSITION TO DUCT SIZES INDICATED  
CONICAL TEE FROM RECTANGULAR TO ROUND BRANCH  
45° ENTRY TEE, RECTANGULAR BRANCH, RECTANGULAR MAIN  
45° WYE, CONICAL MAIN AND BRANCH WITH 45° ELBOW, BRANCH 90° TO MAIN  
TEE WITH ADJUSTABLE EXTRACTOR. RECTANGULAR MAIN, RECTANGULAR BRANCH  
RADIUS ELL. SEE SPECS.  
SQUARE ELL WITH TURNING VANES  
TRANSITION ROUND TO RECTANGULAR  
VERTICAL DUCT RISE OR DROP  
DUCTS, PIPES, OR EQUIPMENT TO BE REMOVED  
DUCT DROP OR RISE THRU ROOF OR FLOOR  
RETURN, OUTSIDE, OR EXHAUST AIR DUCT

SUPPLY DUCT  
ACCESS DOOR  
AUTOMATIC CONTROL DAMPER  
MANUAL AIR DAMPER  
VOLUME DAMPER WITH REMOTE BALANCING DEVICE  
FIRE DAMPER  
FIRE SMOKE DAMPER  
SMOKE DETECTOR  
DUCT STATIC PRESSURE SENSOR  
THERMOSTAT ,MOUNT ALL T-STAT AT MAX. 48" AFF  
HUMIDISTAT OR HUMIDITY/TEMPERATURE SENSOR, AT 48" AFF  
HOT WATER SUPPLY  
HOT WATER RETURN  
HOT GAS LINE  
REFRIGERANT LIQUID  
REFRIGERANT SUCTION  
BALANCING VALVE  
BALL VALVE  
BUTTERFLY VALVE  
CHECK VALVE  
FLEXIBLE CONNECTION  
FLOW SENSOR  
GATE VALVE  
PETE'S PLUG  
SHUT OFF COCK  
PRESSURE GAUGE  
PRESSURE REDUCING VALVE  
REDUCER  
PRESSURE & TEMPERATURE RELIEF VALVE  
SHUT OFF VALVE  
SIGHT GLASS  
STRAINER  
STRAINER & DRAIN VALVE WITH HOSE FITTING  
SOLENOID VALVE  
THERMOMETER  
TWO WAY CONTROL VALVE  
THREE WAY CONTROL VALVE  
UNION

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**VISIONS IN EDUCATION  
TENANT IMPROVEMENT  
1931 FOUNDATION PLACE  
GOLD RIVER, CA. 95670**

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1411 Capital Avenue Sacramento, CA 95816		(916) 325-1000 Fax: (916) 325-1009 Email: <a href="mailto:info@turleyandassociates.com">info@turleyandassociates.com</a>	
Project Engineer	SEP	Job Number	20101
Project Manager	TF	Plot Date	May 10, 2024 - 4:38pm
Project Engineer	LC	Logic	Logic

## MECHANICAL LEGEND, SCHEDULES & NOTES

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ADDENDUM 2 5-14-2024

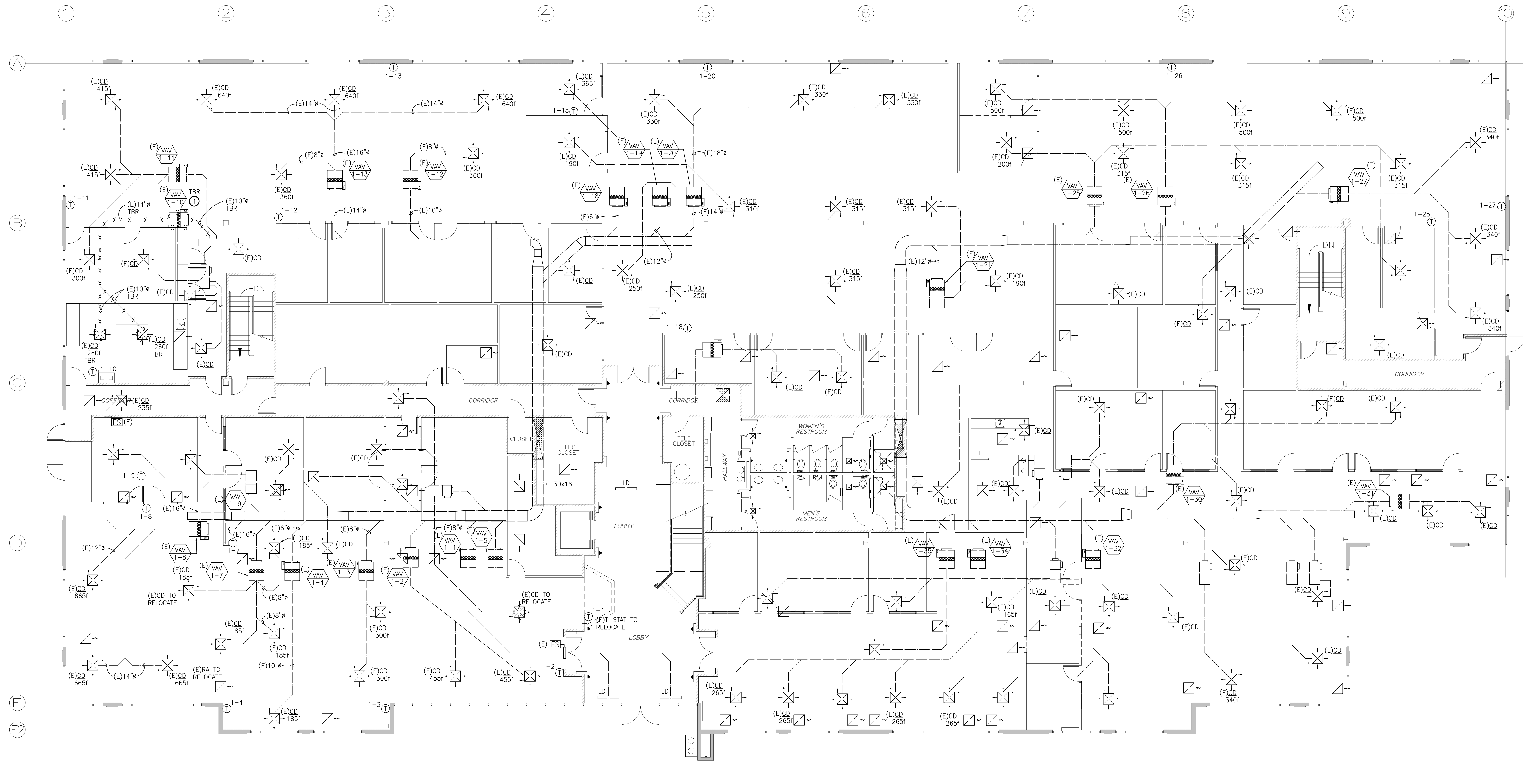
DATE **JANUARY 31, 2024**  
SCALE **AS NOTED**  
DRAWN BY **T&A**  
JOB NO. **22-10**  
SHEET

**MO.1**



GENERAL NOTES

① DISCONNECT (E) HWS AND HWR PIPING FROM (E) REHEAT COIL.  
DISCONNECT (E) CONTROLS.



**FIRST FLOOR —  
MECHANICAL DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

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REGISTERED PROFESSIONAL  
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Project Engineer:	EP	Job Number:	22-01
Project Manager:	TF	Plot Date:	May 10, 2024 - 4:38pm
Project Designer:	LC	Logic:	Logic

**MECHANICAL  
DEMOLITION  
FIRST FLOOR  
PLAN**

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REVISIONS	
ADDENDUM 2	5-14-2024

DATE:	<b>JANUARY 31, 2024</b>
SCALE:	<b>AS NOTED</b>
DRAWN BY:	<b>T&amp;A</b>
JOB NO.:	<b>22-10</b>
SHEET:	

**M1.1**







GENERAL PIPE SUPPORT SCHEDULE		
GENERAL NOTES: 1. SEE TABLE BELOW FOR GENERAL PIPE HANGER SPACING AND ROD SIZES.		
HORIZONTAL STEEL PIPE		
NOMINAL PIPE SIZE	ROD DIAMETER	MAXIMUM SPACING
½ - 1¼	¾	7'0"
1½	¾	9'0"
2	¾	10'0"
2½	¾	11'0"
3	¾	12'0"
4	¾	12'0"
5	¾	12'0"
6	¾	12'0"
8	¾	12'0"
10	¾	12'0"
12	¾	12'0"
HORIZONTAL COPPER PIPE		
NOMINAL PIPE SIZE	ROD DIAMETER	MAXIMUM SPACING
½ - ¾	¾	5'0"
1	¾	6'0"
1¼	¾	6'0"
1½	¾	6'0"
2	¾	8'0"
2½	¾	9'0"
3	¾	10'0"
4	¾	12'0"
5	¾	12'0"
6	¾	12'0"
8	¾	12'0"
NOTES: 1. PROVIDE MEANS OF PREVENTING DISSIMILAR METAL CONTACT SUCH AS FELT OR NON ADHESIVE ISOLATION TAPE. GALVANIZED FELT ISOLATORS SIZED FOR COPPER TUBING MAY ALSO BE USED, TOLCO FIG.83. 2. SUPPORT HORIZONTAL CAST IRON ADJACENT TO EACH HUB, WITH 7 FEET MAXIMUM SPACING BETWEEN HANGERS. 3. INSTALL HANGERS TO PROVIDE A MINIMUM OF ½ INCH SPACE BETWEEN FINISHED COVERING AND ADJACENT WORK. 4. HANGERS SHALL BE INSTALLED WITHIN 18" OF EACH HORIZONTAL ELBOW.		

PLUMBING FIXTURE CONNECTION SCHEDULE								
FIXTURE NAME	SYMBOL	VENT	WASTE		COLD WATER		HOT WATER	
			BR	RI	BR	RI	BR	RI
FLOOR DRAIN	FD	2"	2"	2"	–	–	–	–
ICE MAKER	IM	–	–	–	¾"	½"	–	–
SINK	S	1½"	2"	1½"	¾"	½"	¾"	½"
FLOOR SINK	FS	2"	2"	2"	–	–	–	–

APPLICABLE CODES	
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  A) STATE OF CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24,  2022 EDITION OF THE CALIFORNIA BUILDING CODE. 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE. 2022 EDITION OF THE CALIFORNIA FIRE CODE. 2022 EDITION OF THE CALIFORNIA MECHANICAL CODE. 2022 EDITION OF THE CALIFORNIA PLUMBING CODE.  B) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE	

COMPLIANCE NOTES	
MECHANICAL AND PLUMBING EQUIPMENT SHALL CONFORM TO THE FOLLOWING AS STATED IN THE ENERGY EFFICIENCY STANDARDS, 2022.  1. BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE EFFICIENCY REQUIREMENTS AS PRESCRIBED IN SECTIONS:  111. APPLIANCES REGULATED BY THE APPLIANCE EFFICIENCY STANDARDS: 112. HVAC EQUIPMENT EFFICIENCY AND PACKAGED CONTROLS: 113. SERVICE WATER HEATING EFFICIENCY AND CONTROLS: 114. POOL AND SPA HEATING EFFICIENCY AND CONTROLS: 115. RESTRICTIONS ON PILOT LIGHTS:  2. BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH SECTIONS.  121. REQUIREMENTS FOR VENTILATION: 122. REQUIRED CONTROLS FOR HVAC SYSTEMS: 123. REQUIREMENTS FOR PIPE INSULATION: 124. REQUIREMENTS FOR DUCT INSULATION:	

PIPING MATERIAL SCHEDULE	
1. <del>SOIL, STORM, WASTE AND VENT PIPE</del> UNDERGROUND AND TO 6" ABOVE GROUND: SERVICE WEIGHT CAST IRON SOIL PIPE AND FITTINGS, ASPHALTIC COATED, CONFORMING TO CAST IRON SOIL PIPE INSTITUTE STANDARD #301 ASTM A-888 OR ASTM A-74 AND SO STAMPED. JOINTS SHALL BE NO-HUB CONFORMING TO CAST IRON SOIL PIPE INSTITUTE STANDARD #310; TY-SEAL OR EQUAL WITH GASKETS CONFORMING TO ASTM C 564 AND ASTM A74. SUSPENDED PIPE WITH NO-HUB JOINTS SHALL HAVE A SWAYBRACE AT 20'-0" MAXIMUM SPACING.  2. <del>WASTE AND VENT PIPE</del> ABOVE GROUND FROM LAVATORIES OR SINKS, RAINWATER LEADERS AND OVERFLOWS ABOVE THE FLOOR: CAST IRON SOIL PIPE AND FITTINGS WITH NO HUB JOINTS CONFORMING TO THE REQUIREMENTS OF CISPI STANDARD 301, ASTM A-888 OR ASTM A-74 FOR ALL PIPE AND FITTINGS. JOINTS SHALL CONFORM TO CISPI 310 AND SHALL BE HUBLESS COUPLINGS COMPOSED OF STAINLESS STEEL SHIELD, CLAMP ASSEMBLY AND ELASTOMERIC SEALING SLEEVE. DOW DRAINAGE TUBING AND FITTINGS ARE ACCEPTABLE WHEN APPROVED. CONDENSATE DRAINS SHALL BE TYPE L HARD COPPER, WITH LONG SWEEP ELBOWS AND CLEANOUT TEES AT EACH CHANGE IN DIRECTION. CONNECT CONDENSATE DRAINS TO AIR CONDITIONING UNITS WITH P-TRAP AND RUN TO AN APPROVED RECEPTOR AND DRY WELL. PROVIDE VIBRATION ELIMINATORS AT A.C. UNITS.  3. <del>WATER PIPE (HOT AND COLD WATER):</del> TYPE L COPPER TUBING, HARD TEMPER, WITH WROUGHT COPPER FITTINGS. CAPPED OR PLUGGED OUTLETS SHALL BE SCHEDULE 40 SCREWED BRASS. PROVIDE FULL SOLDER CUP FITTINGS.	

PLUMBING FIXTURE SCHEDULE	
<del>FD-1</del>	FLOOR DRAIN, "SMITH" 2005, 5" DIA., NB TOP, CAST IRON BODY, TRAP PRIMER CONNECTION.
<del>IM-1</del>	ICE MAKER HOOK-UP BOX: "LSP" 0B504, 20 GAUGE STEEL FACEPLATE, 20 GAUGE STEEL ENCLOSURE WITH ANGLE STOP AND " SOFT COPPER CONNECTOR. PROVIDE FINAL CONNECTION TO ICE MAKER.
<del>S-1</del>	SINK, "AMERICAN STANDARD" 9482.000 20"x17" VITREOUS CHINA, "SLOAN" EBF-187-4-BAT BATTERY FAUCET, 0.35 GPM, 0.175 OPC, BELOW DECK MIXING VALVE AND GRID STRAINER, PROVIDE SUPPLIES STOPS AND 17 GA. CHROME PLATED BRASS P-TRAP, "LEONARD" TA-SB TEMPERING VALVE, UNDER COUNTER MOUNT, ADA.
<del>TP-1</del>	TRAP PRIMER: PPP #PR-500 TRAP PRIMER WITH INTEGRAL BACKFLOW PREVENTER AND REQUIRED PIPING.
<del>FS-1</del>	FLOOR SINK, "ZURN" MODEL Z1910, ACID RESISTANT CAST IRON BODY, 1/2" GRATE, SIZE 8"x8"x6"DEEP.

PLUMBING LEGEND	
	COLD WATER LINE
	CONDENSATE DRAIN
	FIRE SERVICE LINE
	GAS
	HOT WATER LINE
	HOT WATER RETURN
	LIQUID PETROLEUM GAS
	OVERFLOW
	PIPING OR EQUIPMENT TO BE REMOVED
	RAINWATER LEADER
	RISE OR DROP IN DIRECTION OF FLOW
	SANITARY SOIL OR WASTE LINE
	SECONDARY CONDENSATE DRAIN LINE
	TRAP PRIMER LINE
	VENT
	CLEANOUT & WALL CLEANOUT
	FIRE DEPARTMENT CONNECTION
	FLOOR/ GRADE CLEAN OUT
	FLOOR DRAIN
	HOSE BIBB/ WALL HYDRANT
	TRAP
	TRAP PRIMER
	BALANCING VALVE
	BALL VALVE
	BUTTERFLY VALVE
	CHECK VALVE
	FLEXIBLE CONNECTION
	GATE VALVE
	SHUT OFF COCK
	PRESSURE GAUGE
	PRESSURE REDUCING VALVE
	REDUCER
	PRESSURE & TEMPERATURE RELIEF VALVE
	SHUT OFF VALVE
	STRAINER
	STRAINER & DRAIN VALVE WITH HOSE FITTING
	SOLENOID VALVE
	THERMOMETER
	UNION
	ABOVE
	ABOVE CEILING, OVERHEAD
	ACCESS DOOR
	AMERICANS WITH DISABILITIES ACT
	ABOVE FINISHED FLOOR
	BRANCH
	CENTERLINE
	CLEANOUT
	COLD WATER
	DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN
	DIAMETER
	FLEXIBLE CONNECTION
	FLOOR CLEANOUT
	FLOOR DRAIN
	FIRE SPRINKLER RISER
	GRADE CLEANOUT
	HOT WATER
	HOT WATER RETURN
	INVERT ELEVATION
	NEW, EXISTING
	NOT IN CONTRACT
	POINT OF CONNECTION
	PRESSURE & TEMPERATURE RELIEF VALVE
	REDUCED PRESSURE BACKFLOW PREVENTER
	RISE, DROP
	ROOF DRAIN, OVERFLOW
	ROUGH-IN
	RUN-OUT
	SHEET METAL SCREWS
	SHUT OFF VALVE
	TO ABOVE, FROM ABOVE
	TO BELOW, FROM BELOW
	TO BE REMOVED
	TRAP PRIMER
	UNDERGROUND, UNDERFLOOR
	UNLESS OTHERWISE NOTED
	UP THROUGH ROOF
	VENT, VENT RISER, VENT THRU ROOF
	WATERTIGHT
	WALL CLEANOUT
	ZONE VALVE

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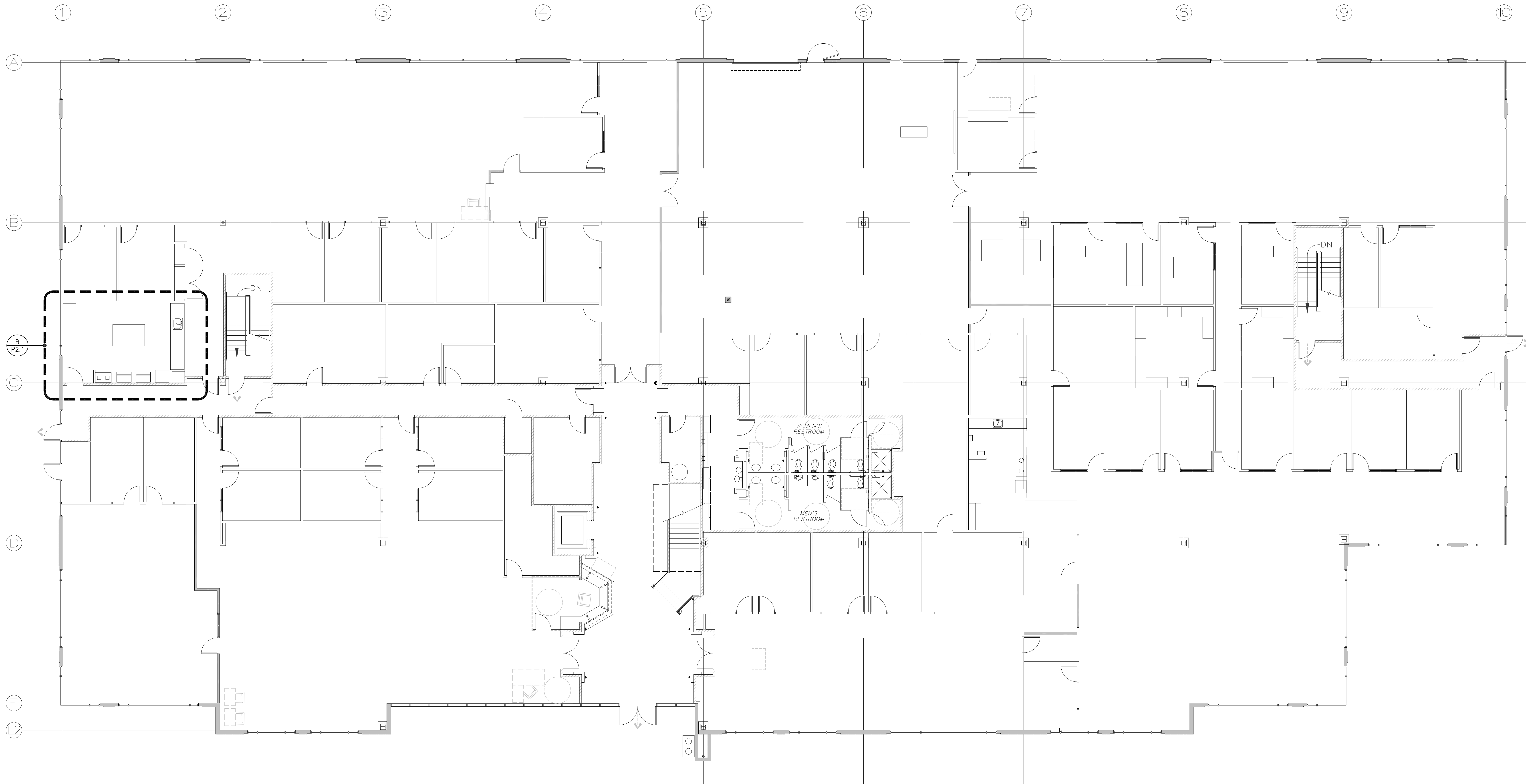
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GOLD RIVER, CA. 95670

		MECHANICAL ENGINEERING GROUP, INC.	
2421 Capital Avenue Sacramento, CA 95833		PH: (916) 325-1000 FAX: (916) 325-1000 Email: info@turleyandassociates.com	
Project Engineer	SEP	Job Number	202051
Project Manager	TF	Post Date	May 10, 2024 4:38pm
Project Engineer	LC	Logo	Logo

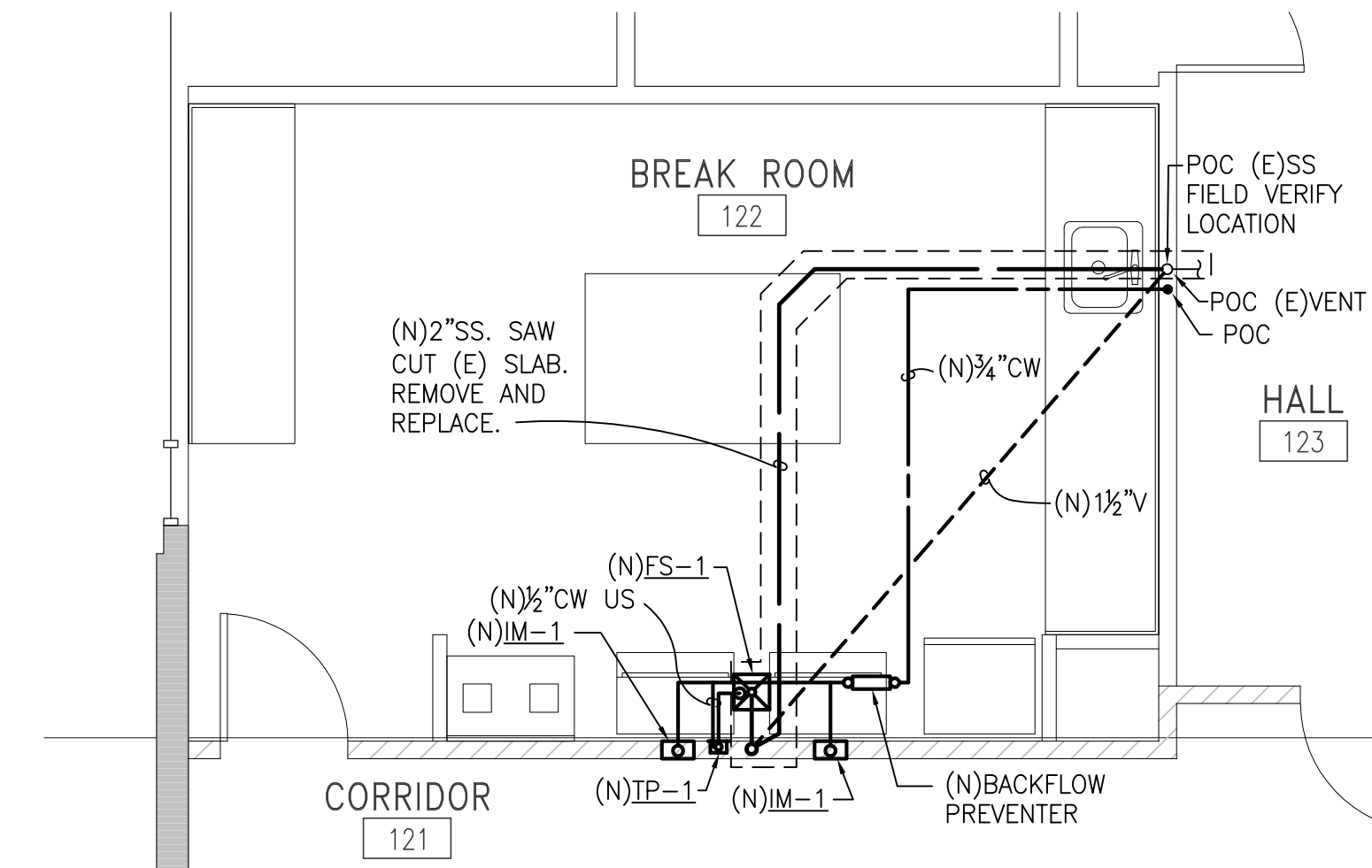
PLUMBING  
LEGEND,  
SCHEDULES &  
NOTES

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ADDENDUM 2	5-14-2024	
DATE	JANUARY 31, 2024	
SCALE	AS NOTED	
DRAWN BY	T&A	
JOB NO.	22-19	
SHEET		



**A** FIRST FLOOR —  
PLUMBING PLAN  
SCALE: 1/8" = 1'-0"



**B** PARTIAL PLUMBING PLAN  
SCALE: 1/4" = 1'-0"

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Project Manager:	TF	Plot Date:	May 10, 2024, 4:38pm
Project Designer:	LC	Logic:	Logic

PLUMBING  
FIRST FLOOR  
PLANS

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JOB NO.	22-10
SHEET	